
Zoning Ordinance
Article Three

Zoning District Intent,
Uses, & Standards

AP - Agriculture Protection District

3.1 "AP" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "AP" District is intended to provide a land use category exclusively for agricultural activities. The provisions that regulate this district should protect, promote and maintain areas in Madison County exclusively for farming operations.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to protect this district from conflicting land uses and non-agricultural development.</p> <p>The Plan Commission and Board of Zoning Appeals should also strive to promote the development of residences as accessory uses only in the "AP" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> •grazing/pasture land •livestock •agricultural crop production •agricultural crop processing (of materials produced on-site) •agricultural product storage (of materials produced on-site) •agricultural product (seeds, fertilizer, etc.) sales, distribution, and storage •farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses (permitted as accessory uses only)</p> <ul style="list-style-type: none"> •dwelling, single-family •child day-care home •home occupation (type I) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> •nature preserve •passive recreation trail <p>Communication/Utilities</p> <ul style="list-style-type: none"> •utility substation •public wellfield/pumphouse •water tower 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> •confined feeding operation •animal boarding •retail sales (of crops produced on-site) •seasonal farm worker housing <p>Residential Uses</p> <ul style="list-style-type: none"> •dwelling, single-family (as a primary use) •manufactured home (type I) •manufactured home (type II) •dwelling, single family (accessory, as an additional dwelling) •bed and breakfast facility •home occupation (type II) •private air strip <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> •police, fire, or rescue station •church or other place of worship •government office or facility •school (P-12) <p>Communication/Utilities</p> <ul style="list-style-type: none"> •wireless telecommunications facility/tower <p>Business Uses</p> <ul style="list-style-type: none"> •kennel •recreation uses (large scale) <p>Industrial Uses</p> <ul style="list-style-type: none"> •mineral extraction and processing

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

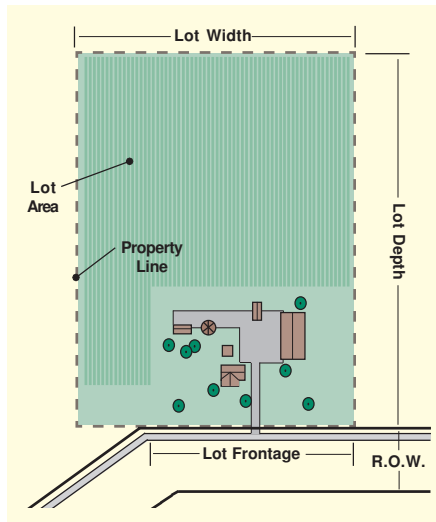
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

AP - Agriculture Protection District

3.2 "AP" District Standards



Minimum Lot Area:

- 40 acres

Minimum Lot Width:

- 100 feet

Minimum Lot Frontage:

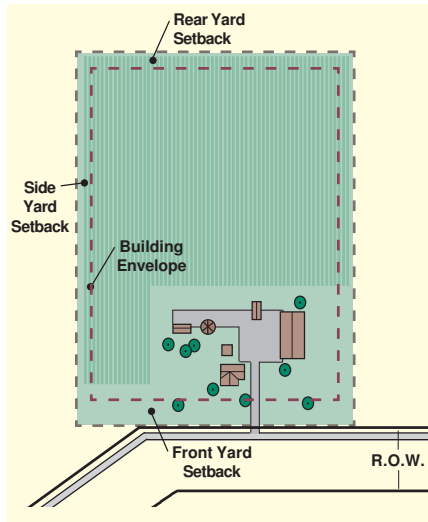
- 50 feet (consistent with the requirements of the Subdivision Control Ordinance)

Maximum Lot Depth:

- none

Sewer and Water:

- May use public water and sewer or private well and septic systems



Minimum Front Yard Setback:

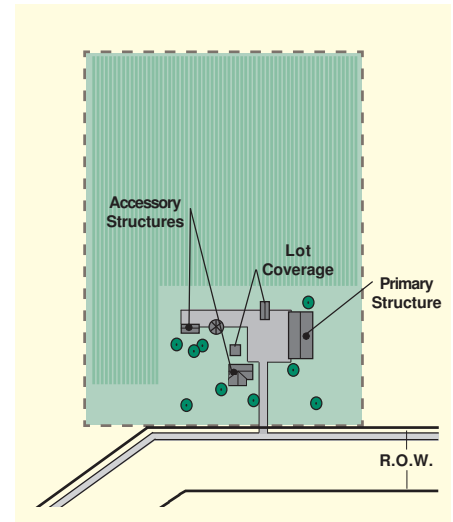
- 150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- 35 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 25 feet

Minimum Rear Yard Setback:

- 30 feet



Maximum Lot Coverage:

- square footage of all primary and accessory structures, and impervious surface cannot exceed 10% of the Lot Area

Minimum Living Area:

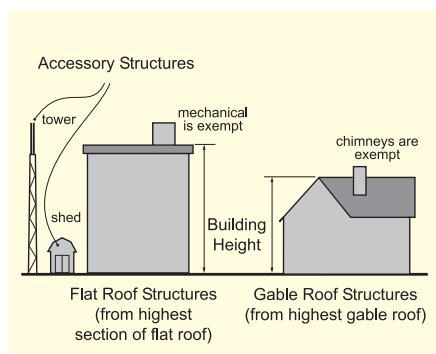
- 1,000 square feet

Minimum Ground Floor Area:

- 40% of the total living area

Maximum Residential Structures per Lot:

- 1



Maximum Structure Height:

- 35 feet for the Primary Structure
- 25 feet for Accessory Structures
- All agriculture related structures are exempt
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, and Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-02 Page 95

Buffer Yard (BY)

- BY-01 Page 99

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-05 Page 113

Entrances/Drives (ED)

- ED-01 Page 115

- ED-02 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Home Occupation (HO)

- HO-01 Page 120

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-02 Page 126

Farm Animal (FA)

- FA-01 Page 127

- FA-02 Page 127

Mobile/Man. Home (MS)

- MS-01 Page 128

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-02 Page 134

Fences and Walls (FW)

- FW-01 Page 137

- FW-03 Page 137

Seasonal Housing (SH)

- SH-01 Page 143

General Signs (GS)

- GS-01 Page 147

Temporary Signs (TS)

- TS-01 Page 150

Permanent Signs (PS)

- PS-01 Page 151

AG - Agriculture District

3.3 "AG" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "AG" District is intended to provide a land use category for agricultural activities. The provisions that regulate this land use district should protect, promote and maintain areas in Madison County primarily for farming operations.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to protect this district from conflicting land uses, non-agriculture oriented businesses, and any use that may inflict significant environmental impacts or be injurious to the agriculture community.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock • agricultural crop production • retail sales (of crops produced on-site) • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • agricultural products (seeds, fertilizer, etc.) sales, distribution, and storage • farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family • manufactured home (type I) • manufactured home (type II) • residential facility for developmentally disabled/mentally ill • child day-care home • home occupation (type I) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail • public school (P-12) • church or other place of worship <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • public wellfield/pumphouse • water tower 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • confined feeding operation • animal boarding • livestock auction/sale facility • commercial greenhouse • farmer's market (for products grown off-site) • farm implement sales and service • seasonal farm worker housing <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single family (Accessory, as an additional dwelling) • home occupation (type II) • bed and breakfast facility • boarding house • private air strip <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • police, fire, or rescue station • government office/facility <p>Communication/Utilities</p> <ul style="list-style-type: none"> • sewage treatment plant • wireless telecommunications facility/tower <p>Business Uses</p> <ul style="list-style-type: none"> • kennel • recreational uses (large scale) • expansion of existing, legal nonconforming uses <p>Industrial Uses</p> <ul style="list-style-type: none"> • agricultural crop production (of materials produced off-site) • mineral extraction and processing in urban areas and floodplains as shown on the flood insurance rate maps • expansion of existing, legal nonconforming uses

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

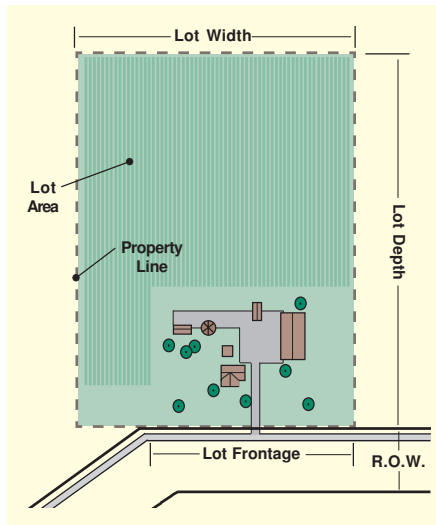
Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

Rev. 2004 S-4 Rev. 2005 S-6

AG - Agriculture District

3.4 "AG" District Standards



Minimum Lot Area:

- 2 acres

Minimum Lot Width:

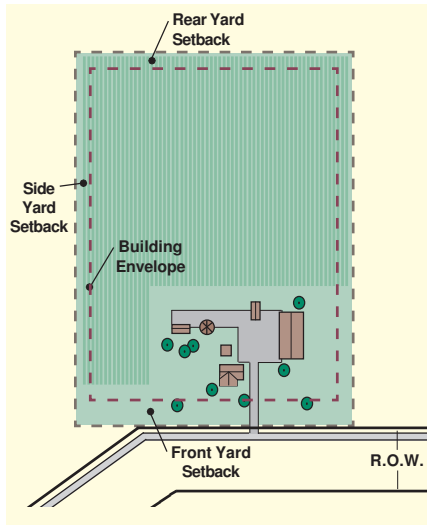
- 200 feet

Minimum Lot Frontage:

- 50% of the lot width (consistent with the requirements of the Subdivision Control Ordinance) (for residential primary uses)
- 50 feet (consistent with the requirements of the Subdivision Control Ordinance) (for non-residential primary uses)

Maximum Lot Depth:

- 3.5 times the lot width (for residential primary uses)
- none (for non-residential primary uses)



Sewer and Water:

- May use public water and sewer or private well and septic systems

Minimum Front Yard Setback:

- 150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- 35 feet when adjacent to a Local Road

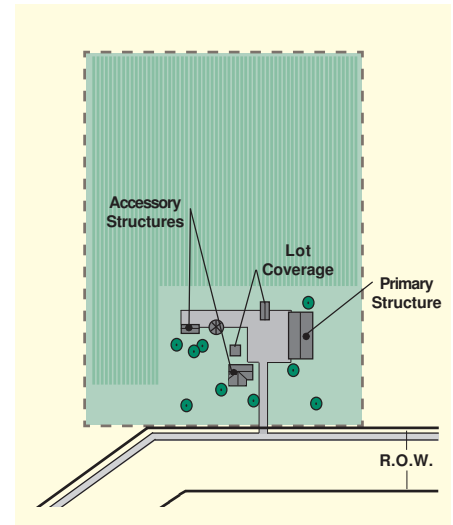
Minimum Side Yard Setback:

- 25 feet

Minimum Rear Yard Setback:

- 30 feet

Note: Lots that were legally created under a prior ordinance *and* are less than 2 acres, minimum side and rear setbacks - 10 feet.



Maximum Lot Coverage:

- square footage of all primary and accessory structures, and impervious surface cannot exceed 10% of the Lot Area.

Minimum Living Area:

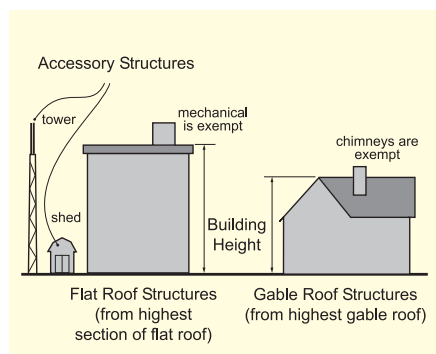
- 1,500 square feet (primary use dwelling)
- 1,000 square feet (accessory use dwelling)

Minimum Ground Floor Area:

- 40% of the total living area

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 35 feet for the Primary Structure
- 25 feet for Accessory Structures
- All agriculture related structures are exempt
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, and Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-02 Page 95

Buffer Yard (BY)

- BY-01 Page 99

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-05 Page 113

Entrances/Drives (ED)

- ED-01 Page 115

- ED-02 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Home Occupation (HO)

- HO-01 Page 120

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-02 Page 126

Farm Animal (FA)

- FA-01 Page 127

- FA-02 Page 127

Mobile/Man. Home (MS)

- MS-01 Page 128

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-02 Page 134

Fences and Walls (FW)

- FW-01 Page 137

- FW-03 Page 137

Seasonal Housing (SH)

- SH-01 Page 143

General Signs (GS)

- GS-01 Page 147

Temporary Signs (TS)

- TS-01 Page 150

Permanent Signs (PS)

- PS-01 Page 151

Rev. 2003 S-1

CR - Conservation Residential District

3.5 "CR" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "CR" District is intended to provide for the development of clusters of medium sized homes on large lots in otherwise agricultural areas. The intent of the district is to allow for the construction of rural residences and small recreational farms while maintain the viability of the surrounding large-scale farming operations and preserving land for agriculture, open space, and future, higher density development.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to establish this district as a transitional area between higher density residential and commercial development and agricultural districts.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> •grazing and pasture land •livestock •agricultural crop production •retail sales (of crops produced on-site) •agriculture crop processing (of materials produced on-site) •agriculture crop storage (of materials produced on-site) •agricultural products (seeds, fertilizer, etc.) sales, distribution, and storage •farm implements storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> •dwelling, single-family •manufactured home (type I) •manufactured home (type II) •residential facility for developmentally disabled/mentally ill •child day-care home •home occupation (type I) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> •nature preserve •public school (P-12) •church or other place of worship •passive recreation trail <p>Communication/Utilities</p> <ul style="list-style-type: none"> •utility substation •public wellfield/pumphouse •water tower 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> •animal boarding •livestock auction/sale facility •commercial greenhouse •farmer's market (for products grown off-site) •farm implement sales and service •seasonal farm worker housing <p>Residential Uses</p> <ul style="list-style-type: none"> •dwelling, single-family •assisted living/retirement facility •home occupation (type II) •bed and breakfast facility •boarding house <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> •park and recreation uses •police, fire, or rescue station •government office/facility <p>Communication/Utilities</p> <ul style="list-style-type: none"> •sewage treatment plant •wireless telecommunications facility/tower <p>Business Uses</p> <ul style="list-style-type: none"> •kennel •recreation uses (large scale) •expansion of existing, legal, nonconforming uses <p>Industrial Uses</p> <ul style="list-style-type: none"> •mineral extraction and processing in urban areas and floodplains as shown on the flood insurance rate maps •expansion of existing, legal, nonconforming uses

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

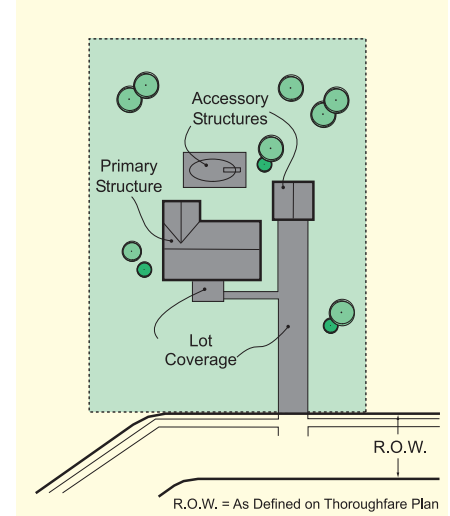
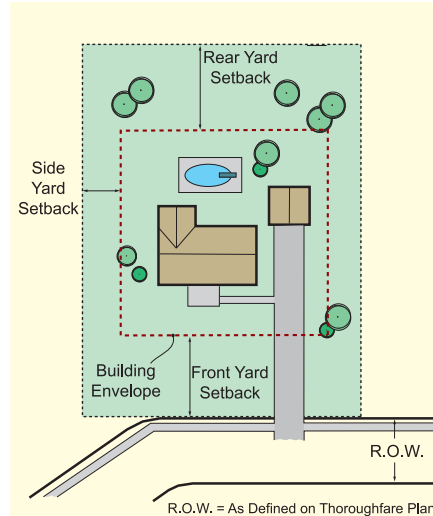
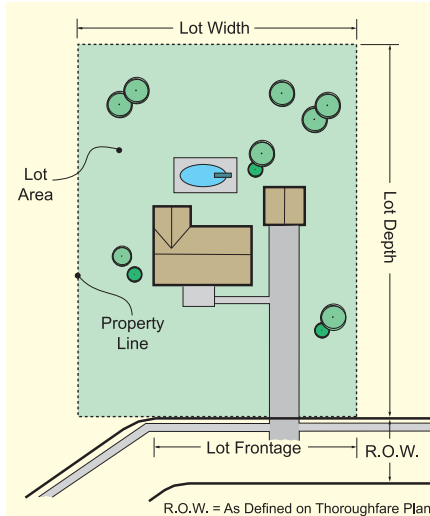
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

CR - Conservation Residential District

3.6 "CR" District Standards



Minimum Lot Area:

- 2 acres (Septic System)
- 1 acre (Public Sewer)

Minimum Lot Width:

- 100 feet

Minimum Lot Frontage:

- 75% of the lot width (consistent with the requirements of the Subdivision Control Ordinance) (for residential primary uses)
- 50 feet (consistent with the requirements of the Subdivision Control Ordinance) (for non-residential primary uses)

Maximum Lot Depth:

- 3.5 times the lot width (for residential primary uses)
- none (for non-residential primary uses)

Sewer and Water:

- May use public water and sewer or private well and septic systems

Minimum Front Yard Setback:

- 150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- 30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 25 feet each side

Minimum Rear Yard Setback:

- 30 feet

Note: Lots that were legally created under a prior ordinance *and* are less than 2 acres, minimum side and rear setbacks - 10 feet.

Maximum Lot Coverage:

- square footage of all primary and accessory structures, and impervious surface cannot exceed 30% of the Lot Area.

Minimum Living Area:

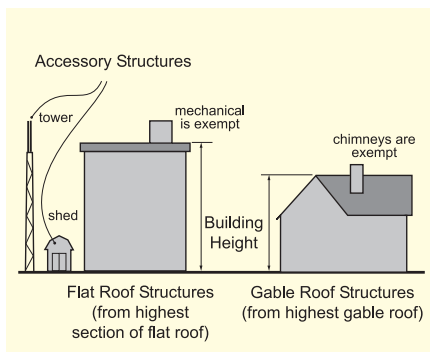
- 1,500 square feet

Minimum Ground Floor Area:

- 40% of the total living area

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 35 feet for the Primary Structure
- 25 feet for Accessory Structures
- All agriculture related structures are exempt
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-02 Page 95

Buffer Yard (BY)

- BY-01 Page 99

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-05 Page 113

Entrances/Drives (ED)

- ED-01 Page 115

Sight Visibility (SV)

- SV-01 Page 118

Home Occupation (HO)

- HO-01 Page 120

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-02 Page 126

Farm Animal (FA)

- FA-01 Page 127

Mobile/Man. Home (MS)

- MS-01 Page 128

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-02 Page 134

Fences and Walls (FW)

- FW-01 Page 137

- FW-03 Page 137

Seasonal Housing (SH)

- SH-01 Page 143

General Signs (GS)

- GS-01 Page 147

Temporary Signs (TS)

- TS-01 Page 150

Permanent Signs (PS)

- PS-02 Page 151

R1 - Single-Family Residential District

3.7 "R1" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "R1" District is intended to provide for the development of large single-family detached homes on medium-sized lots. The provisions that regulate this land use district should provide for the development of medium density residential neighborhoods.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to integrate this type of neighborhood with higher density residential developments and neighborhood-serving commercial facilities. This district should be protected from conflicting land uses and be located in proximity to "CR" districts in a way that does not inhibit farming practices.</p> <p>The Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 2.0 to 2.5 dwelling units per acre community-wide in the "R1" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family • manufactured home (type I) • manufactured home (type II) • residential facility for developmentally disabled/mentally ill • child day-care home • home occupation (type I) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single family • assisted living/retirement facility • nursing home • home occupation (type II) • bed and breakfast facility <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • parks and recreation uses • institutional uses (small scale) • police, fire, or rescue station • church or other place of worship • government office/facility • school (P-12) <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • public wellfield/pumphouse • water tower • wireless telecommunications facility/tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

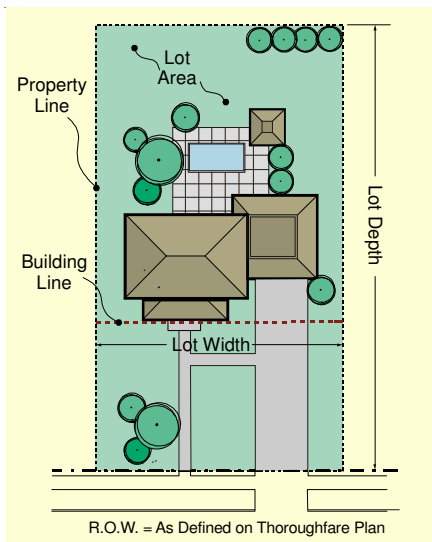
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

R1 - Single-Family Residential District

3.8 "R1" District Standards



Minimum Lot Area:

- 12,000 square feet

Minimum Lot Width:

- 80 feet

Minimum Lot Frontage:

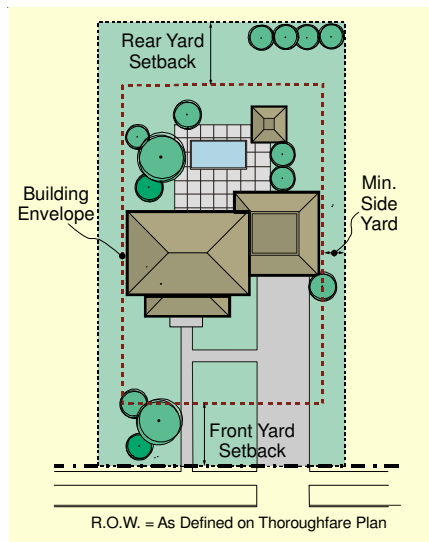
- 70% of the lot width (consistent with the requirements of the Subdivision Control Ordinance)

Maximum Lot Depth:

- 2.5 times the lot width

Sewer and Water:

- Requires connection to public water and sewer except may use private well and septic systems provided the lot is a legal nonconforming lot and no public water or sewer systems are available.



Minimum Front Yard Setback:

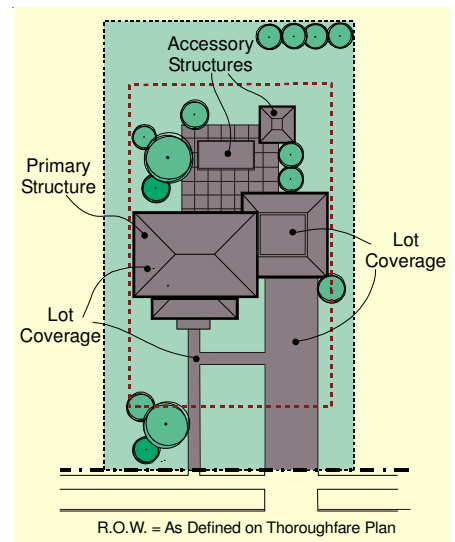
- 50 feet when adjacent to an Arterial
- 35 feet when adjacent to a Collector
- 30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 5 feet each side
- 20 feet total

Minimum Rear Yard Setback:

- 25 feet



Maximum Lot Coverage:

- square footage of all primary and accessory structures, and impervious surface cannot exceed 35% of the Lot Area.

Minimum Living Area:

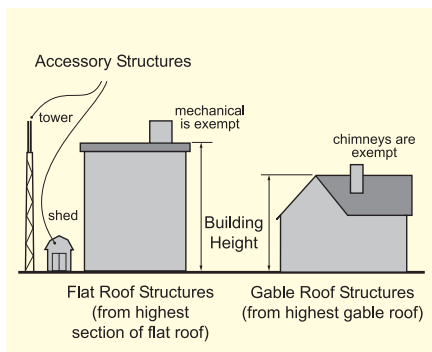
- 1,800 square feet

Minimum Ground Floor Area:

- 40% of the total living area

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 35 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-03 Page 96

Buffer Yard (BY)

- BY-01 Page 99

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-02 Page 110

- PK-05 Page 113

- PK-06 Page 113

- PK-07 Page 113

Entrances/Drives (ED)

- ED-01 Page 115

Sight Visibility (SV)

- SV-01 Page 118

Open Space (OS)

- OS-01 Page 119

Home Occupation (HO)

- HO-01 Page 120

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-02 Page 126

Farm Animal (FA)

- FA-01 Page 127

Mobile/Man. Home (MS)

- MS-01 Page 128

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-02 Page 134

- TU-03 Page 135

Fences and Walls (FW)

- FW-01 Page 137

- FW-02 Page 137

Landscaping (LA)

- LA-01 Page 138

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Temporary Signs (TS)

- TS-01 Page 150

Permanent Signs (PS)

- PS-01 Page 151

- PS-02 Page 151

R2 - Single-Family Residential District

3.9 "R2" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "R2" District is intended to provide for the development of medium-sized single-family detached homes on medium-sized lots. The provisions that regulate this land use district should provide for the development of medium density residential neighborhoods.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to integrate this type of neighborhood with lower and higher density residential developments and neighborhood-serving commercial facilities. This district should be protected from conflicting land uses and be located in proximity to "CR" districts in a way that does not inhibit farming practices.</p> <p>The Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 2.5 to 4.0 dwelling units per acre community-wide in the "R2" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family • manufactured home (type I) • manufactured home (type II) • residential facility for developmentally disabled/mentally ill • child day-care home • home occupation (type I) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family • assisted living/retirement facility • nursing home • home occupation (type II) • bed and breakfast facility <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • parks and recreation uses • institutional uses (small scale) • police, fire, or rescue station • church or other place of worship • government office/facility • school (P-12) <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • public wellfield/pumphouse • water tower • wireless telecommunications facility/tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

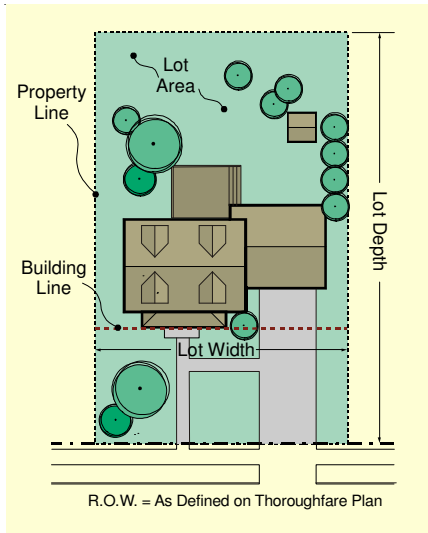
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

R2 - Single-Family Residential District

3.10 "R2" District Standards



- Minimum Lot Area:**
• 8,000 square feet

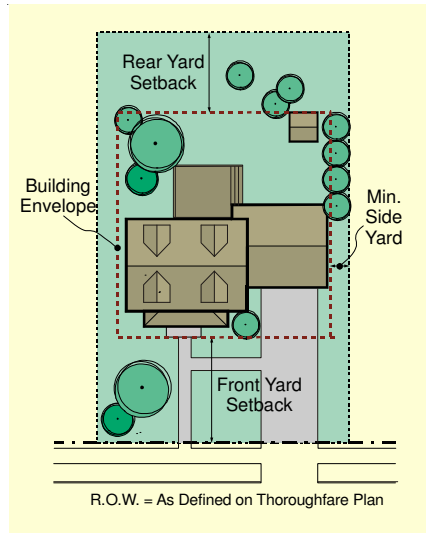
- Minimum Lot Width:**
• 70 feet

- Minimum Lot Frontage:**
• 70% of the lot width (consistent with the requirements of the Subdivision Control Ordinance)

- Maximum Lot Depth:**
• 2.5 times the lot width

Sewer and Water:

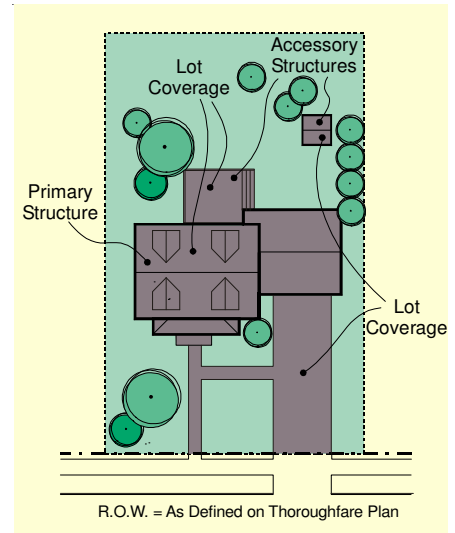
- Requires connection to public water and sewer except may use private well and septic systems provided the lot is a legal nonconforming lot and no public water or sewer systems are available.



- Minimum Front Yard Setback:**
• 50 feet when adjacent to an Arterial
• 35 feet when adjacent to a Collector
• 30 feet when adjacent to a Local Road

- Minimum Side Yard Setback:**
• 5 feet each side
• 15 feet total

- Minimum Rear Yard Setback:**
• 20 feet

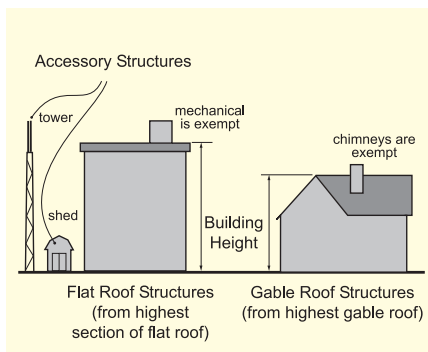


- Maximum Lot Coverage:**
• square footage of all primary and accessory structures, and impervious surface cannot exceed 45% of the Lot Area

- Minimum Living Area:**
• 1,400 square feet

- Minimum Ground Floor Area:**
• 40% of the total living area

- Maximum Primary Structures per Lot:**
• 1



- Maximum Structure Height:**
• 35 feet for the Primary Structure
• 25 feet for Accessory Structures
• All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)	Sight Visibility (SV)	Fences and Walls (FW)
• LY-01 Page 93	• SV-01 Page 118	• FW-01 Page 137
Height (HT)	Open Space (OS)	• FW-02 Page 137
• HT-01 Page 94	• OS-01 Page 119	Landscaping (LA)
Accessory Structure (AS)	Home Occupation (HO)	• LA-01 Page 138
• AS-01 Page 95	• HO-01 Page 120	Seasonal Housing (SH)
• AS-03 Page 96	Telecom. Facilities (TF)	• SH-01 Page 143
Buffer Yard (BY)	• TF-01 Page 123	Lighting Standards (LS)
• BY-01 Page 99	• TF-02 Page 126	• LS-01 Page 145
Environmental (EN)	Farm Animal (FA)	• LS-02 Page 145
• EN-01 Page 102	• FA-01 Page 127	General Signs (GS)
Flood Hazard Area (FH)	Mobile/Man. Home (MS)	• GS-01 Page 147
• FH-01 Page 104	• MS-01 Page 128	Temporary Signs (TS)
Parking (PK)	Satellite Dish (SA)	• TS-01 Page 150
• PK-01 Page 110	• SA-01 Page 132	Permanent Signs (PS)
• PK-02 Page 110	Temporary Uses (TU)	• PS-02 Page 151
• PK-05 Page 113	• TU-01 Page 134	• PS-02 Page 151
• PK-06 Page 113	• TU-02 Page 134	
• PK-07 Page 113	• TU-03 Page 135	
Entrances/Drives (ED)		
• ED-01 Page 115		

R3 - Single & Two-Family Residential District

3.11 "R3" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "R3" District is intended to provide the development of small-sized single and two-family homes on small-sized lots. The provisions that regulate this land use district should provide for the development of high density residential neighborhoods.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to integrate this type of neighborhood with medium and high density residential developments and neighborhood-serving commercial facilities. This district should be protected from conflicting land uses and be located in proximity to "CR" districts in a way that does not inhibit farming practices.</p> <p>The Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 4.0 to 6.0 dwelling units per acre community-wide in the "R3" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family • manufactured home (type I) • manufactured home (type II) • dwelling, two-family • residential facility for developmentally disabled/mentally ill • child day-care home • home occupation (type I) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family • assisted living/retirement facility • nursing home • home occupation (type II) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • parks and recreation uses • institutional uses (small scale) • police, fire, or rescue station • church or other place of worship • government office/facility • school (P-12) <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • public wellfield/pumphouse • water tower • wireless telecommunications facility/tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

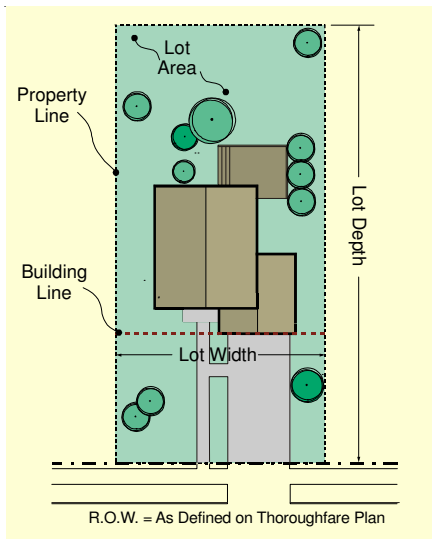
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

R3 - Single & Two-Family Residential District

3.12 "R3" District Standards



Minimum Lot Area:

- 6,000 square feet (single-family)
- 8,000 square feet (two-family)

Minimum Lot Width:

- 60 feet (single-family)
- 75 feet (two-family)

Minimum Lot Frontage:

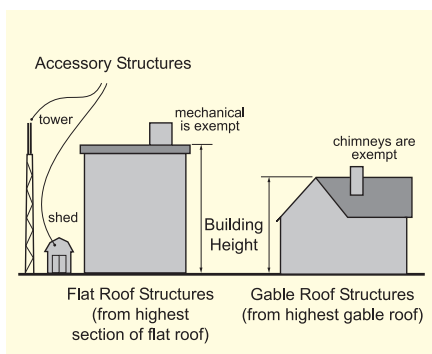
- 70% of the lot width (consistent with the requirements of the Subdivision Control Ordinance)

Maximum Lot Depth:

- 2.5 times the lot width

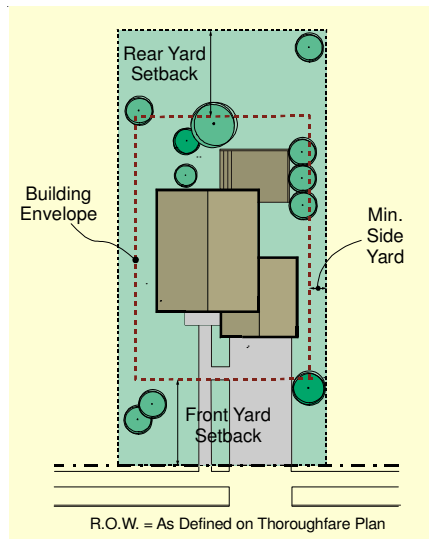
Sewer and Water:

- Requires connection to public water and sewer



Maximum Structure Height:

- 35 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6



Minimum Front Yard Setback:

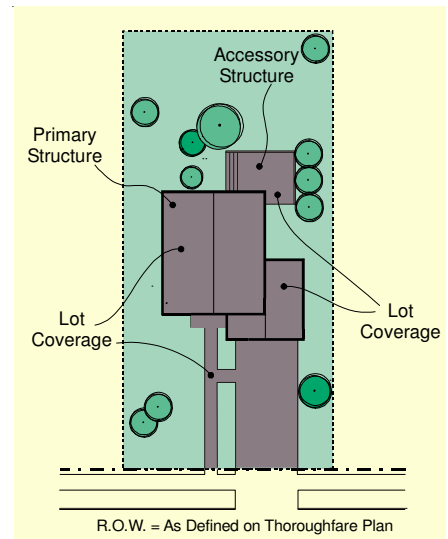
- 50 feet when adjacent to an Arterial
- 35 feet when adjacent to a Collector
- 30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 5 feet each side
- 10 feet total

Minimum Rear Yard Setback:

- 15 feet



Maximum Lot Coverage:

- square footage of all primary and accessory structures, and impervious surface cannot exceed 55% of the Lot Area

Minimum Living Area per Unit:

- 1,200 square feet

Minimum Ground Floor Area per Unit:

- 40% of the total living area

Maximum Primary Structures per Lot:

- 1

Additional Development Standards that Apply

Lot, Yard, & Density (LY) <ul style="list-style-type: none"> • LY-01 Page 93 	Entrances/Drives (ED) <ul style="list-style-type: none"> • ED-01 Page 115 	Temporary Uses (TU) <ul style="list-style-type: none"> • TU-01 Page 134 • TU-02 Page 134 • TU-03 Page 135
Height (HT) <ul style="list-style-type: none"> • HT-01 Page 94 	Sight Visibility (SV) <ul style="list-style-type: none"> • SV-01 Page 118 	Fences and Walls (FW) <ul style="list-style-type: none"> • FW-01 Page 137 • FW-02 Page 137
Accessory Structure (AS) <ul style="list-style-type: none"> • AS-01 Page 95 • AS-03 Page 96 	Open Space (OS) <ul style="list-style-type: none"> • OS-01 Page 119 	Landscaping (LA) <ul style="list-style-type: none"> • LA-01 Page 138
Buffer Yard (BY) <ul style="list-style-type: none"> • BY-01 Page 99 	Home Occupation (HO) <ul style="list-style-type: none"> • HO-01 Page 120 	Seasonal Housing <ul style="list-style-type: none"> • SH-01 Page 143
Environmental (EN) <ul style="list-style-type: none"> • EN-01 Page 102 	Telecom. Facilities (TF) <ul style="list-style-type: none"> • TF-01 Page 123 • TF-02 Page 126 	Lighting Standards (LS) <ul style="list-style-type: none"> • LS-01 Page 145 • LS-02 Page 145
Flood Hazard Area (FH) <ul style="list-style-type: none"> • FH-01 Page 104 	Farm Animal (FA) <ul style="list-style-type: none"> • FA-01 Page 127 	General Signs (GS) <ul style="list-style-type: none"> • GS-01 Page 147
Parking (PK) <ul style="list-style-type: none"> • PK-01 Page 110 • PK-02 Page 110 • PK-05 Page 113 • PK-06 Page 113 • PK-07 Page 113 	Mobile/Man. Home (MS) <ul style="list-style-type: none"> • MS-01 Page 128 	Temporary Signs (TS) <ul style="list-style-type: none"> • TS-01 Page 150
	Satellite Dish (SA) <ul style="list-style-type: none"> • SA-01 Page 132 	Permanent Signs (PS) <ul style="list-style-type: none"> • PS-01 Page 151 • PS-02 Page 151

MR - Multifamily Residential District

3.13 "MR" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "MR" District is intended to provide for multifamily residential developments. The provisions that regulate this land use district should promote the adequate provision of open spaces, living areas, and vehicle parking.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to integrate this district with high density single and two-family residential developments and neighborhood-serving and general commercial facilities. This district should be protected from conflicting land uses and be located in proximity to open space, services, and retail establishments.</p> <p>The Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 5.0 to 8.5 dwelling units per acre community-wide in the "MR" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> •agricultural crop production •agriculture crop processing (of materials produced on-site) •agriculture crop storage (of materials produced on-site) •farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> •dwelling, two-family •dwelling, multifamily •residential facility for developmentally disabled/mentally ill •assisted living/retirement facility •nursing home •child day-care home •home occupation (type I) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> •nature preserve •passive recreation trail 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> •grazing and pasture land •livestock <p>Residential Uses</p> <ul style="list-style-type: none"> •dwelling, single-family <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> •parks and recreation uses •institutional uses (small scale) •police, fire, or rescue station •church or other place of worship •government office/facility •school (P-12) <p>Communication/Utilities</p> <ul style="list-style-type: none"> •utility substation •public wellfield/pumphouse •water tower •wireless telecommunications facility/tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

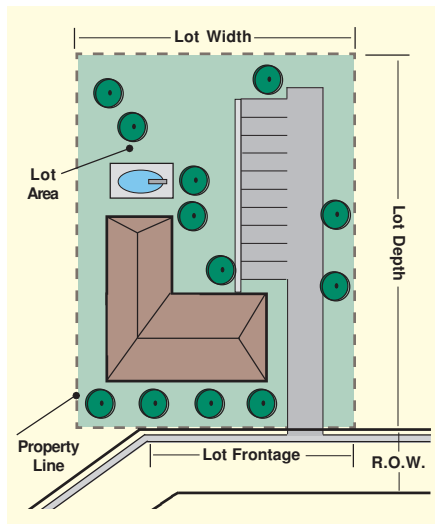
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

MR - Multifamily Residential District

3.14 "MR" District Standards



Minimum Lot Area:

- 22,000 square feet

Minimum Lot Area per Unit:

- 5,000 square feet

Maximum Lot Area per Unit:

- 8,000 square feet

Minimum Lot Width:

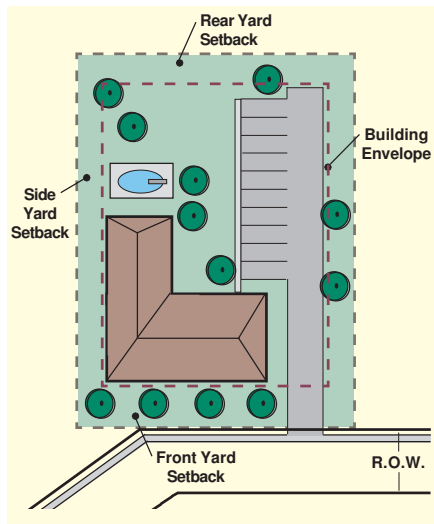
- 100 feet

Minimum Lot Frontage:

- 70% of the lot width on a public street, with access from said public street

Maximum Lot Depth:

- 5 times the lot width



Sewer and Water:

- Requires connection to public water and sewer

Minimum Front Yard Setback:

- 50 feet when adjacent to an Arterial
- 40 feet when adjacent to a Collector
- 30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

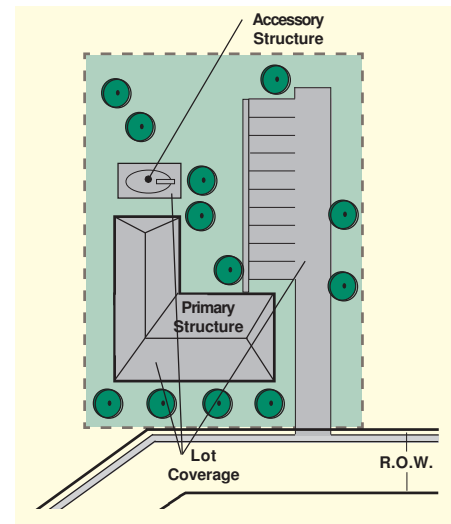
- 30 feet each side

Minimum Rear Yard Setback:

- 30 feet

Minimum Common Open Space:

- 10% (of the lot area of the parent tract)



Maximum Lot Coverage:

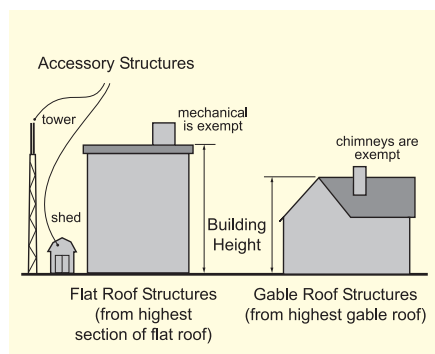
- square footage of all primary and accessory structures, and impervious surface cannot exceed 65% of the Lot Area

Minimum Living Area per Unit:

- 800 square feet

Maximum Primary Structures per Lot:

- none



Maximum Structure Height:

- 45 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-04 Page 97

Buffer Yard (BY)

- BY-01 Page 99

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-03 Page 110

- PK-05 Page 113

- PK-06 Page 113

- PK-07 Page 113

Loading (LD)

- LD-01 Page 114

Entrances/Drives (ED)

- ED-01 Page 115

- ED-03 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Open Space (OS)

- OS-01 Page 119

Home Occupation (HO)

- HO-01 Page 120

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-02 Page 126

Farm Animal (FA)

- FA-01 Page 127

Mobile/Man. Home (MS)

- MS-01 Page 128

Public Improvement (PI)

- PI-01 Page 130

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-02 Page 134

- TU-03 Page 135

Fences and Walls (FW)

- FW-01 Page 137

- FW-02 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Temporary Signs (TS)

- TS-01 Page 150

Permanent Signs (PS)

- PS-01 Page 151

- PS-02 Page 151

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MH - Manufactured Home Park District

3.15 "MH" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "MH" District is intended to provide a land use district for manufactured home parks in the community as attractive and decent affordable housing . Manufactured Home Parks shall be in accordance with IC 16-11-27-1 et. seq., Rule 410 IAC 6-6 and their subsequent amendments, the State Board of Health Requirements, and the requirements of this Ordinance.</p> <p>This district should be within close proximity to parks, open space, services and retail establishments and avoid locations near conflicting land uses.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to promote an average net density of 7 to 9 dwelling units per acre community-wide in the "MH" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> •agricultural crop production •agriculture crop processing (of materials produced on-site) •agriculture crop storage (of materials produced on-site) •farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> •manufactured home (type III) •dwelling, mobile-home •child day-care home •home occupation (type I) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> •nature preserve •passive recreation trail 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> •grazing and pasture land •livestock <p>Residential Uses</p> <ul style="list-style-type: none"> •dwelling, single-family •manufactured home (type I) •manufactured home (type II) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> •parks and recreation uses •institutional uses (small scale) •police, fire, or rescue station •church or other place of worship •government office/facility •school (P-12) <p>Communication/Utilities</p> <ul style="list-style-type: none"> •utility substation •public wellfield/pumphouse •water tower •wireless telecommunications facility/tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

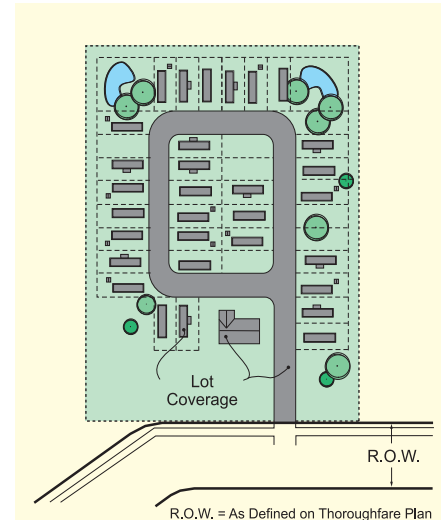
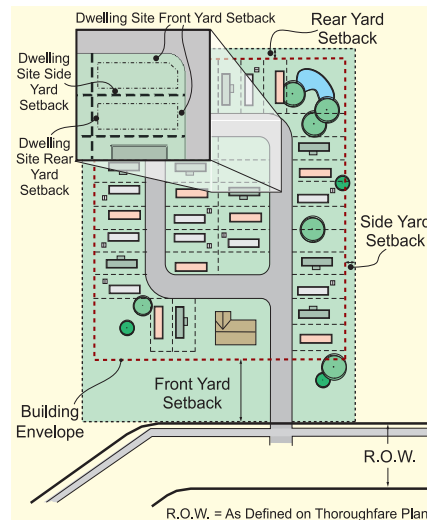
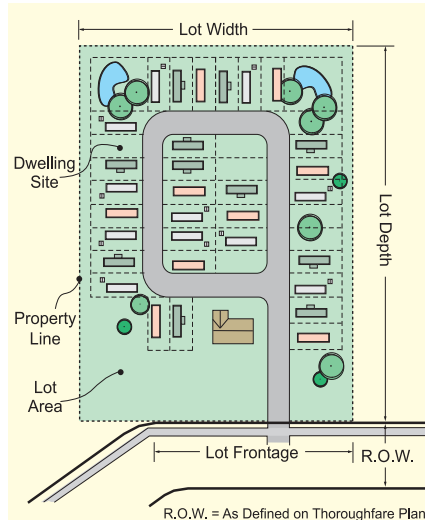
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

MH - Manufactured Home Park District

3.16 "MH" District Standards



Minimum Lot Size:

- 10 acres

Minimum Lot Width:

- 300 feet

Minimum Lot Frontage:

- 70% of the lot width on a public street, with access from said public street

Minimum Common Open Space:

- 10%

Sewer and Water:

- Requires connection to public water and sewer

Minimum Lot Front Yard Setback:

- 50 feet when adjacent to an Arterial Road
- 50 feet when adjacent to a Collector Road
- 50 feet when adjacent to a Local Road

Minimum Lot Side & Rear Yard Setback:

- 30 feet

Minimum Dwelling Site Size:

- 4,000 square feet

Minimum Dwelling Site Width:

- 40 feet

Maximum Dwelling Site Depth:

- 3.5 times the Lot Width

Minimum Dwelling Site Front Yard Setback:

- 10 feet from edge of pavement of interior roads

Minimum Dwelling Site Side & Rear Yard Setback:

- 7 feet

Maximum Lot Coverage:

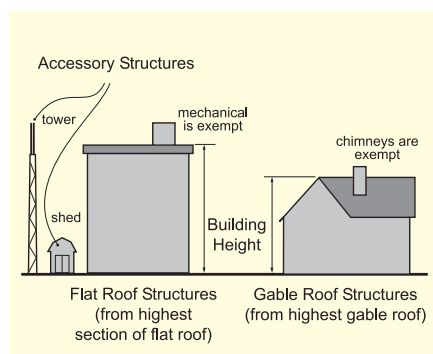
- square feet of all primary and accessory structures, and impervious surface cannot exceed 65% of the lot area.

Minimum Living Area per Dwelling Unit:

- 750 square feet per dwelling unit

Maximum Primary Structures per Lot:

- none



Maximum Structure Height:

- 24 feet for the Primary Structure
- 15 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-04 Page 97

Buffer Yard (BY)

- BY-01 Page 99

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-03 Page 110

- PK-05 Page 113

- PK-06 Page 113

- PK-07 Page 113

Loading (LD)

- LD-01 Page 114

Entrances/Drives (ED)

- ED-01 Page 115

- ED-03 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Open Space (OS)

- OS-01 Page 119

Home Occupation (HO)

- HO-01 Page 120

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-02 Page 126

Farm Animal (FA)

- FA-01 Page 127

Mobile/Man. Home (MS)

- MS-01 Page 128

- MS-02 Page 128

Public Improvement (PI)

- PI-01 Page 130

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-02 Page 134

Fences and Walls (FW)

- FW-01 Page 137

- FW-02 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Temporary Signs (TS)

- TS-01 Page 150

Permanent Signs (PS)

- PS-01 Page 151

- PS-02 Page 151

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PR - Parks & Recreation District

3.17 "PR" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "PR" District is intended to provide for the development of recreational facilities and the designation of open space. This district should be integrated with residential districts and natural features potentially forming a community-wide open space system.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to establish this district in appropriate residential neighborhoods and in areas of natural open space and recreational features. The Plan Commission and Board of Zoning Appeals should also strive to ensure that usable open space is provided, and that connectivity of recreational amenities is promoted.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • farm implement storage (operable implements used in the farming operation - not for sale) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • parks and recreation uses • nature preserve • passive recreation trail <p>Business Uses</p> <ul style="list-style-type: none"> • recreation uses (medium scale) • recreation uses (large scale) 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family (as an accessory to agriculture uses) • dwelling, single-family (accessory, as an additional dwelling) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • police, fire, or rescue station • church or other place of worship • government office/facility • school (P-12) <p>Communications/Utilities</p> <ul style="list-style-type: none"> • utility substation • public wellfield/pumphouse • water tower • wireless telecommunications facility/tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

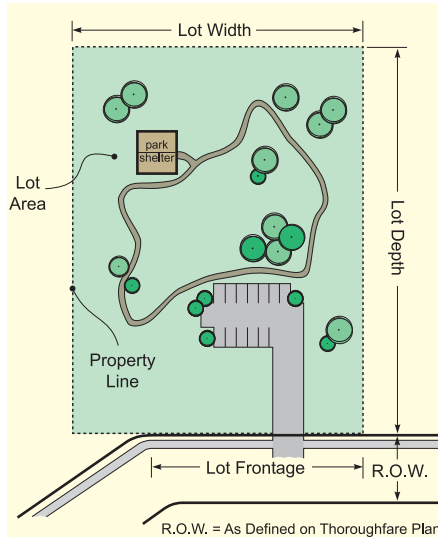
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

PR - Parks & Recreation District

3.18 "PR" District Standards



Minimum Lot Area:

- 2 acres

Minimum Lot Width:

- 100 feet

Minimum Lot Frontage:

- 100 feet on a public street, with access from said public street

Maximum Lot Depth:

- none

Sewer and Water:

- May use public sewer and water or private well and septic system



Minimum Front Yard Setback:

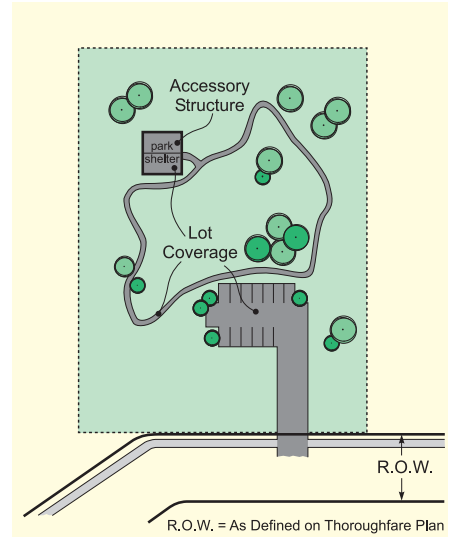
- 50 feet when adjacent to an Arterial Road
- 45 feet when adjacent to a Collector Road
- 30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 15 feet

Minimum Rear Yard Setback:

- 15 feet

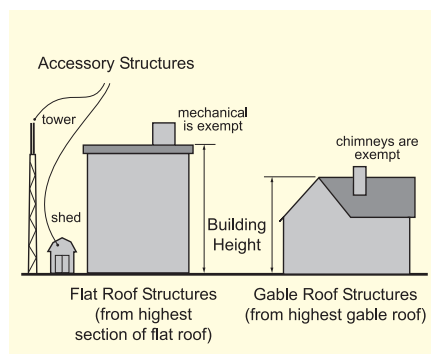


Maximum Lot Coverage:

- square footage of all primary and accessory structures, and impervious surface cannot exceed 30% of the Lot Area.

Maximum Primary Structures per Lot:

- none



Maximum Structure Height:

- 35 feet for primary structures
- 25 feet for accessory structures
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-05 Page 98

Buffer Yard (BY)

- BY-01 Page 99

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-04 Page 110

- PK-05 Page 113

Loading (LD)

- LD-01 Page 114

Entrances/Drives (ED)

- ED-01 Page 115

- ED-03 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-03 Page 126

Farm Animal (FA)

- FA-01 Page 127

Rec. Vehicle (RV)

- RV-01 Page 129

Public Improvement (PI)

- PI-01 Page 130

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-04 Page 136

Fences and Walls (FW)

- FW-01 Page 137

- FW-02 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Permanent Signs (PS)

- PS-01 Page 151

- PS-02 Page 151

IS - Institutional District

3.19 "IS" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "IS" District is intended to provide a land use category for public and private institutions and government offices. The provisions that regulate this land use district should make the district compatible with all other districts.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should apply this district only where appropriate to establish in the community the services provided by these institutions.</p> <p>The Plan Commission and Board of Zoning Appeals should also strive to provide appropriate signage, lighting, and parking in the "IS" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> • institutional facility for the developmentally disabled/mentally ill • assisted living/retirement facility • nursing home <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • parks and recreation uses • nature preserve • passive recreation trail • institutional uses (small scale) • police, fire, or rescue station • institutional uses (medium scale) • institutional uses (large scale) • church or other place of worship • government office/facility • school (P-12) <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • public wellfield/pumphouse • water tower 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family (as an accessory to agriculture uses) • dwelling, single-family (accessory, as an additional dwelling) <p>Communication/Utilities</p> <ul style="list-style-type: none"> • wireless telecommunications facility/tower

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

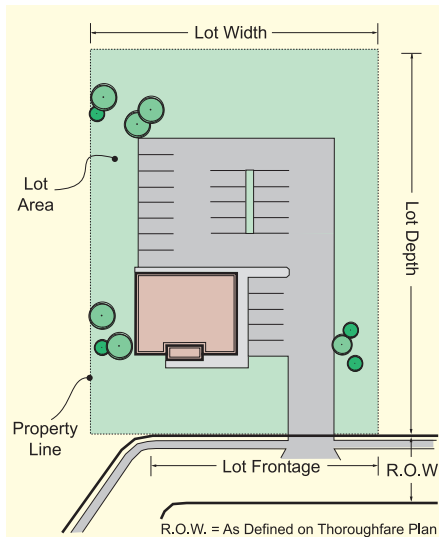
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

IS - Institutional District

3.20 "IS" District Standards



Minimum Lot Area:

- 10,000 square feet

Minimum Lot Width:

- 100 feet

Minimum Lot Frontage:

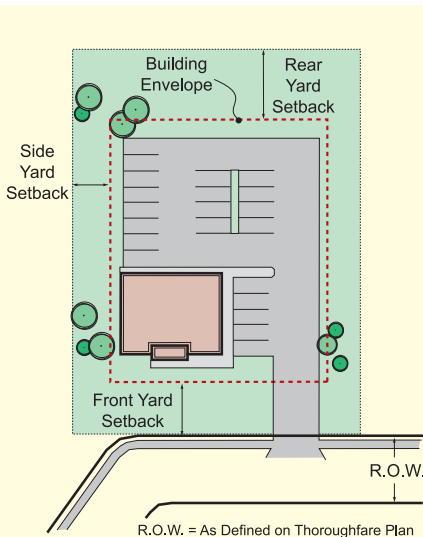
- 70% of the lot width on a public street, with access from said public street

Maximum Lot Depth:

- 2.5 times the Lot Width

Sewer and Water:

- Requires connection to public water and sewer



Minimum Front Yard Setback:

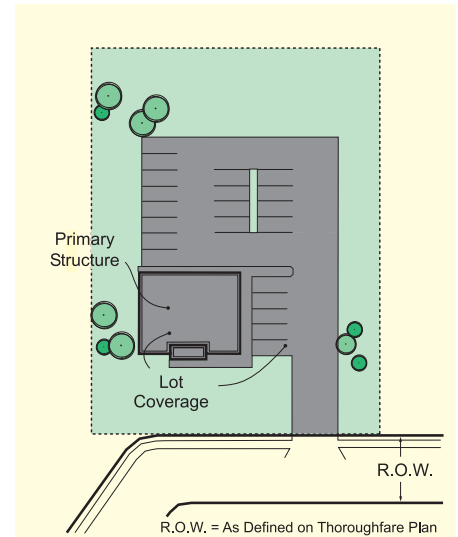
- 50 feet when adjacent to an Arterial Road
- 45 feet when adjacent to a Collector Road
- 30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 25 feet

Minimum Rear Yard Setback:

- 25 feet

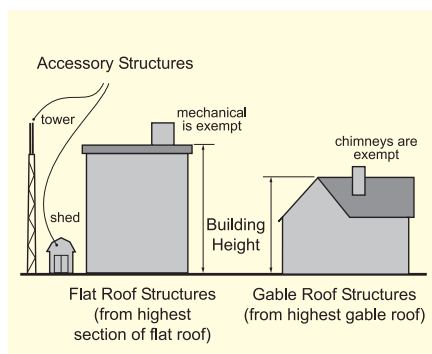


Maximum Lot Coverage:

- square footage of all primary and accessory structures, and impervious surface cannot exceed 70% of the Lot Area.

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 40 feet for Primary Structures
- 25 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-06 Page 98

Buffer Yard (BY)

- BY-01 Page 99

Performance (PS)

- PS-01 Page 101

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-04 Page 110

- PK-05 Page 113

Loading (LD)

- LD-01 Page 114

Entrances/Drives (ED)

- ED-01 Page 115

- ED-03 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-03 Page 126

Farm Animal (FA)

- FA-01 Page 127

Public Improvement (PI)

- PI-01 Page 130

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-04 Page 136

Fences and Walls (FW)

- FW-01 Page 137

- FW-03 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Permanent Signs (PS)

- PS-01 Page 151

- PS-03 Page 151

LC - Local Commercial District

3.21 "LC" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "LC" District is intended to provide a land use category for small scale commercial uses that provide products and services to neighborhoods. The provisions that regulate this land use district should promote appropriate commercial uses that are clearly nonconflicting with residential areas of Madison County.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to use this district selectively, in areas where small scale commercial centers are appropriate to service neighborhoods.</p> <p>The Plan Commission and Board of Zoning Appeals should also strive to exclude businesses from the "LC" district that have an adverse effect on existing or future adjacent neighborhoods.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • farm implement storage (operable implements used in the farming operation - not for sale) <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family (upper floors) • dwelling, two-family (upper floors) • dwelling, multifamily (upper floors) • child day-care home • home occupation (type 1) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail • police, fire, or rescue station • church or other place of worship • government office/facility • school (P-12) <p>Business Uses</p> <ul style="list-style-type: none"> • personal service uses • office uses • retail uses (small scale) 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock • farmer's market (for products grown off-site) <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family (as an accessory to agriculture uses) • dwelling, single-family (accessory, as an additional dwelling) • assisted living/retirement facility • nursing home • bed and breakfast facility • dwelling, single family <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • institutional uses (small scale) • institutional uses (medium scale) <p>Communications/Utilities</p> <ul style="list-style-type: none"> • utility substation • water tower • wireless telecommunications facility/tower <p>Business Uses</p> <ul style="list-style-type: none"> • auto-oriented uses (small scale) • alcohol-related uses • recreation uses (small scale) • recreation uses (medium scale) • retail uses (medium scale)

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

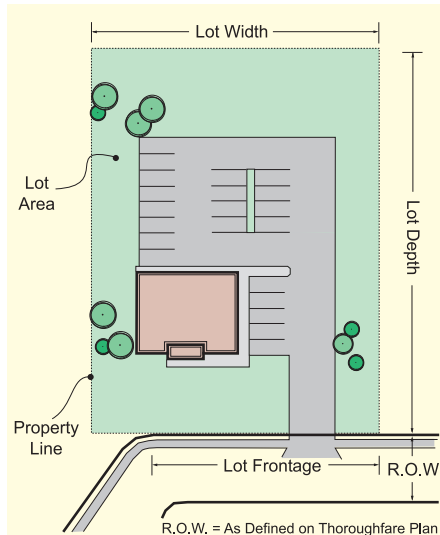
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

LC - Local Commercial District

3.22 "LC" District Standards



Minimum Lot Area:

- 5,000 square feet

Maximum Lot Area:

- 1 acre

Minimum Lot Width:

- 70 feet

Maximum Lot Depth:

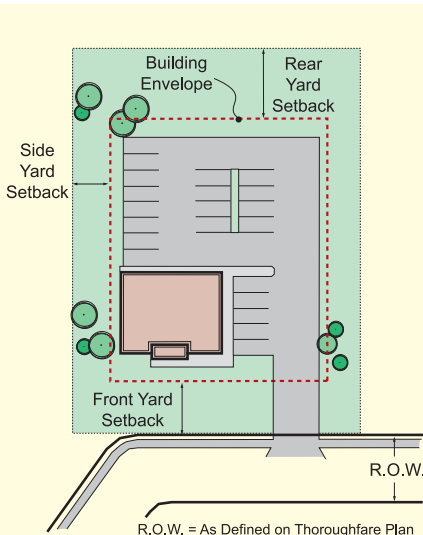
- 2.5 times the Lot Width

Minimum Lot Frontage:

- 100% of the lot width on a public street with access from said public street

Sewer and Water:

- Requires connection to public water and sewer



Minimum Front Yard Setback:

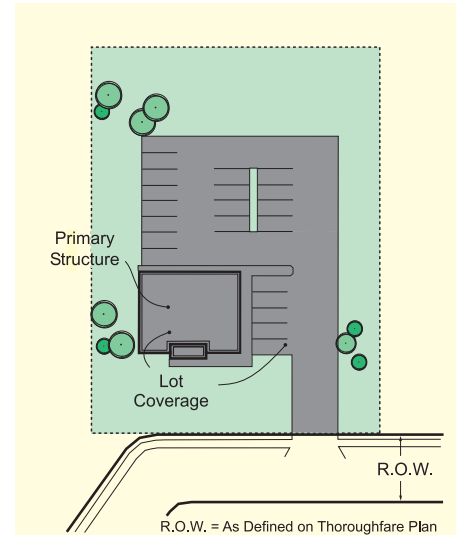
- 40 feet when adjacent to an Arterial Road
- 35 feet when adjacent to a Collector Road
- 20 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 15 feet

Minimum Rear Yard Setback:

- 15 feet



Maximum Lot Coverage:

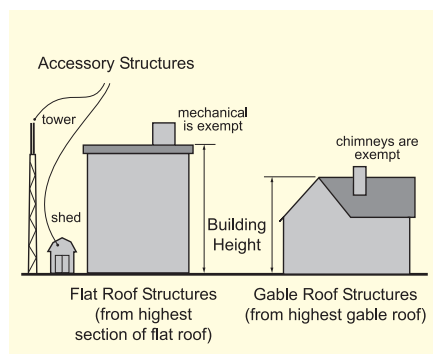
- square footage of all primary and secondary structures, and impervious surface cannot exceed 70% of the Lot Area

Minimum Living Area per Unit:

- 800 square feet

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 35 feet for the Primary Structure
- 15 feet for Accessory Structures
- All telecommunication facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-06 Page 98

Buffer Yard (BY)

- BY-01 Page 99

Performance (PS)

- PS-01 Page 101

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-02 Page 110

- PK-04 Page 110

- PK-05 Page 113

Loading (LD)

- LD-01 Page 114

Entrances/Drives (ED)

- ED-01 Page 115

- ED-03 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Home Occupation (HO)

- HO-01 Page 120

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-03 Page 126

Farm Animal (FA)

- FA-01 Page 127

Public Improvement (PI)

- PI-01 Page 130

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-04 Page 136

Fences and Walls (FW)

- FW-01 Page 137

- FW-03 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Large Retail (LR)

- LR-01 Page 141

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS01 Page 145

- LS02 Page 145

General Signs (GS)

- GS-01 Page 147

Permanent Signs (PS)

- PS-01 Page 151

- PS-04 Page 151

GC - General Commercial District

3.23 "GC" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "GC" District is intended to provide a land use category for most general business uses. The provisions that regulate this land use district should not overly restrict normal business practices. This district can be used adjacent to all other commercial and industrial districts and the "MH", and "MR" residential districts.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to use this district to encourage a strong and stable area for commerce.</p> <p>The Plan Commission and Board of Zoning Appeals should encourage development in clusters which share resources and minimize the cost of public utilities and services. The Plan Commission and Board of Zoning Appeals should also strive to minimize lighting, parking lots fronting the major streets, and traffic conflicts in the "GC" District.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • commercial greenhouse • farmer's market (for products grown off-site) • agricultural products (seeds, fertilizer, etc.) sales, distribution, and storage • farm implement storage (operable implements used in the farming operation - not for sale) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail • police, fire, or rescue station • institutional uses (medium scale) • government office/facility <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • water tower <p>Business Uses</p> <ul style="list-style-type: none"> • adult uses • auto-oriented uses (small scale) • auto-oriented uses (medium scale) • recreation uses (small scale) • recreation uses (medium scale) • personal service uses • office uses • retail uses (small scale) • retail uses (medium scale) • retail uses (large scale) <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family,existing 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock • farm implement sales and service <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family (as an accessory to agriculture uses) • dwelling, single-family (accessory, as an additional dwelling) • dwelling, single-family (upper floors) • dwelling, two-family (upper floors) • dwelling, multifamily (upper floors) • dwelling, single family,new <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • institutional uses (small scale) • institutional uses (large scale) • church or other place of worship • school (P-12) <p>Communication/Utilities</p> <ul style="list-style-type: none"> • wireless telecommunications facility/tower <p>Business Uses</p> <ul style="list-style-type: none"> • auto-oriented uses (large scale) • alcohol-related uses • mini warehouse storage facility

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

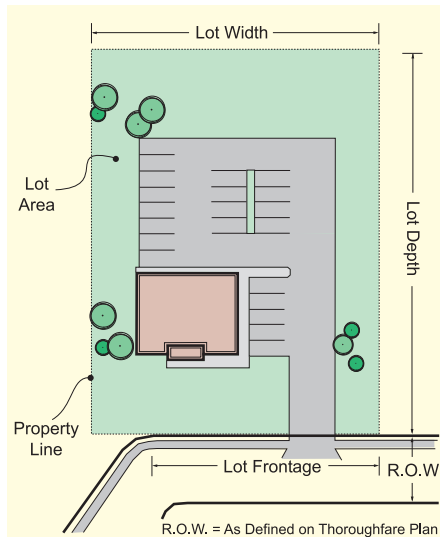
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

GC - General Commercial District

3.24 "GC" District Standards



Minimum Lot Area:

- 20,000 square feet

Minimum Lot Width:

- 150 feet

Maximum Lot Depth:

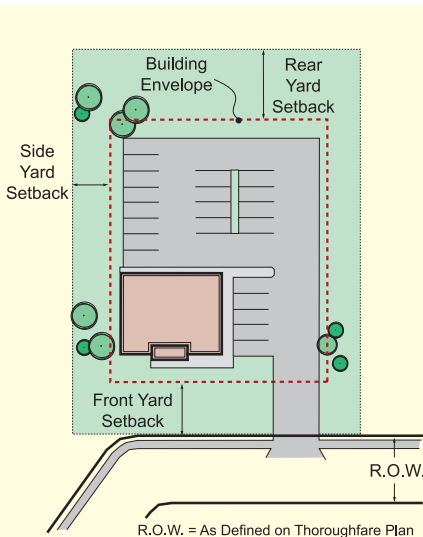
- 3.5 times the Lot Width

Minimum Lot Frontage:

- 100 feet on a public street with access from said public street

Sewer and Water:

- Requires connection to public water and sewer



Minimum Front Yard Setback:

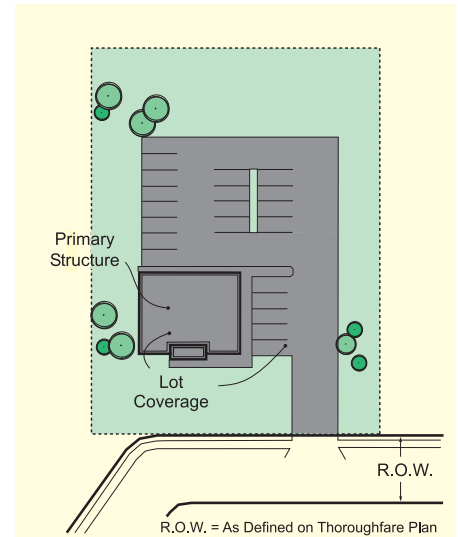
- 50 feet when adjacent to an Arterial Road
- 40 feet when adjacent to a Collector Road
- 30 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 25 feet

Minimum Rear Yard Setback:

- 25 feet

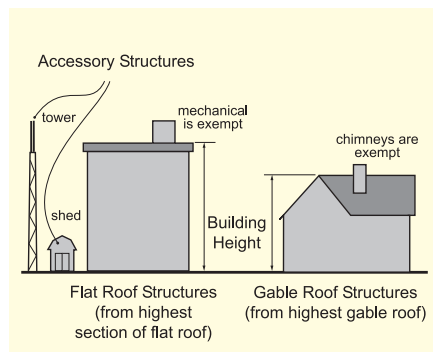


Maximum Lot Coverage:

- square footage of all primary and secondary structures, and impervious surface cannot exceed 70% of the Lot Area

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 35 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunications facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-06 Page 98

Buffer Yard (BY)

- BY-01 Page 99

Performance (PS)

- PS-01 Page 101

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-02 Page 110

- PK-04 Page 110

- PK-05 Page 113

Loading (LD)

- LD-01 Page 114

Entrances/Drives (ED)

- ED-01 Page 115

- ED-03 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Home Occupation (HO)

- HO-01 Page 120

Adult Use (AU)

- AU-01 Page 122

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-03 Page 126

Farm Animal (FA)

- FA-01 Page 127

Public Improvement (PI)

- PI-01 Page 130

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-04 Page 136

Fences and Walls (FW)

- FW-01 Page 137

- FW-03 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Large Retail (LR)

- LR-01 Page 141

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Permanent Signs (PS)

- PS-01 Page 151

- PS-05 Page 153

HC - Highway Commercial District

3.25 "HC" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "HC" District is intended to provide a land use category for commercial uses that are appropriate for locations along highways. The provisions that regulate this land use district should make the district compatible with the agriculture district and environmentally sensitive areas. This district should be used along highways and at interchanges.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to provide for highway oriented business and services while minimizing light pollution, large parking lots along the major roadways, hazardous traffic patterns, traffic conflicts, and excessive use of signs in the "HC" District.</p> <p>The use of access roads/frontage roads should be required for all commercial uses in this district. Further, road cuts onto arterial or collector roads should be restricted.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • commercial greenhouse • farmer's market (for products grown off-site) • agricultural products (seeds, fertilizer, etc.) sales, distribution, and storage • farm implement storage (operable implements used in the farming operation - not for sale) • farm implement sales and service <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail • police, fire, rescue station <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • wireless telecommunications facility/tower • water tower <p>Business Uses</p> <ul style="list-style-type: none"> • corporate office uses • auto-oriented uses (small scale) • auto-oriented uses (medium scale) • auto-oriented uses (large scale) • truck stop • retail uses (large scale) <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family, existing 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family (as an accessory to agriculture uses) • dwelling, single-family (accessory, as an additional dwelling) • dwelling, single family, new <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • institutional uses (small scale) • church or other place of worship • government office/facility • school (P-12) <p>Business Uses</p> <ul style="list-style-type: none"> • alcohol-related uses • recreation uses (small scale) • recreation uses (medium scale) • office uses • retail uses (small scale) • retail uses (medium scale) • mini warehouse storage facility

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

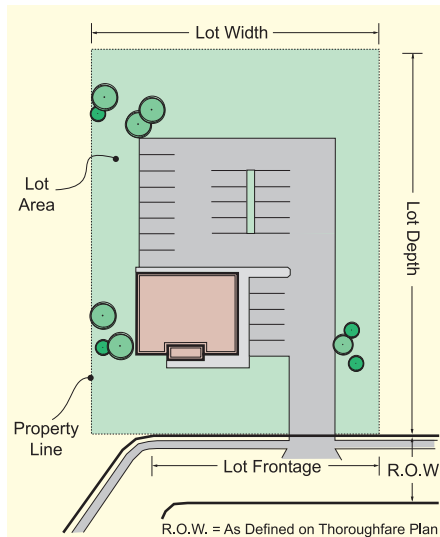
The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

Rev. 2004 S-4

Rev. 2006 S-8

HC - Highway Commercial District

3.26 "HC" District Standards



Minimum Lot Area:

- 20,000 square feet

Minimum Lot Width:

- 150 feet

Maximum Lot Depth:

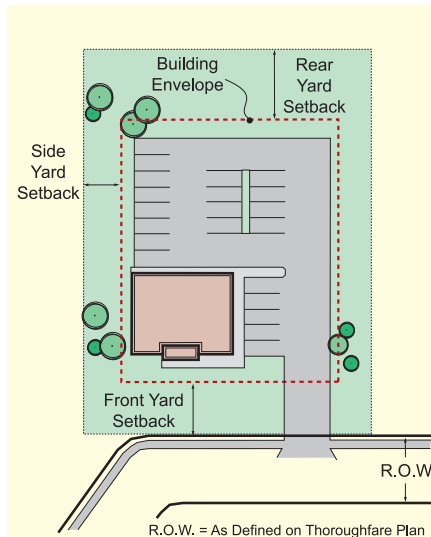
- 3.5 times the Lot Width

Minimum Lot Frontage:

- 100 feet on a public street with access from said public street

Sewer and Water:

- Requires connection to public water and sewer



Minimum Front Yard Setback:

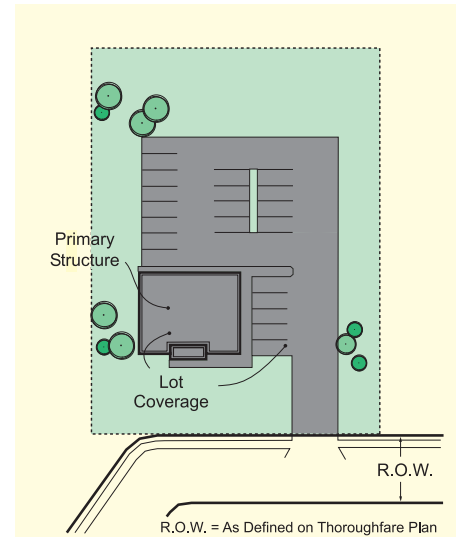
- 50 feet when adjacent to an Arterial Road
- 40 feet when adjacent to a Collector Road

Minimum Side Yard Setback:

- 25 feet

Minimum Rear Yard Setback:

- 25 feet

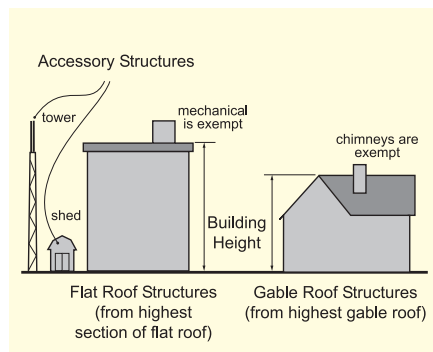


Maximum Lot Coverage:

- square footage of all primary and accessory structures, and impervious surface cannot exceed 65% of the Lot Area

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 40 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunications facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-06 Page 98

Buffer Yard (BY)

- BY-01 Page 99

Performance (PS)

- PS-01 Page 101

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-04 Page 110

- PK-05 Page 113

Loading (LD)

- LD-01 Page 114

Entrances/Drives (ED)

- ED-01 Page 115

- ED-03 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-04 Page 126

Farm Animal (FA)

- FA-01 Page 127

Public Improvement (PI)

- PI-01 Page 130

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-04 Page 136

Fences and Walls (FW)

- FW-01 Page 137

- FW-03 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Large Retail (LR)

- LR-01 Page 141

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Permanent Signs (PS)

- PS-01 Page 151

- PS-06 Page 154

LI - Light Industrial District

3.27 "LI" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "LI" District is intended to provide a land use category for assembly, warehousing, and other light industrial operations. The provisions that regulate this land use district should make the district compatible with the "GC", "HC" and "AG" districts and environmentally sensitive areas. This district should be used in combination with the HC district in areas with convenient access to major transportation routes.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to provide for light industrial operations while minimizing light pollution, large parking lots along the major roadways, hazardous traffic patterns, and traffic conflicts in the "LI" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • agricultural products sales and distribution • farm implement storage (operable implements used in the farming operation - not for sale) • farm implement sales and service <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail • police, fire, or rescue station <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • sewage treatment plant • wireless telecommunications facility/tower • water tower <p>Business Uses</p> <ul style="list-style-type: none"> • corporate office uses <p>Industrial Uses</p> <ul style="list-style-type: none"> • industrial uses (low impact) 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • confined feeding operation • grazing and pasture land • livestock • livestock auction and sale facility • commercial greenhouse <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family (as an accessory to agriculture uses) • dwelling, single-family (accessory, as an additional dwelling) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • institutional uses (small scale) • institutional uses (medium scale) • institutional uses (large scale) • church or other place of worship • government office/facility • school (P-12) <p>Business Uses</p> <ul style="list-style-type: none"> • truck stop • kennel • office uses <p>Industrial Uses</p> <ul style="list-style-type: none"> • agricultural crop production and storage (of materials produced off-site)

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

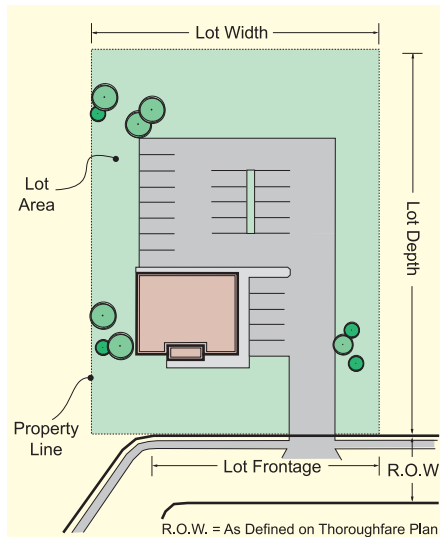
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

LI - Light Industrial District

3.28 "LI" District Standards



Minimum Lot Area:

- 25,000 square feet

Minimum Lot Width:

- 150 feet

Maximum Lot Depth:

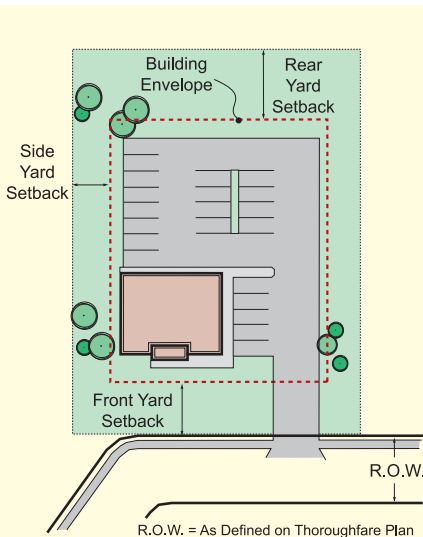
- none

Minimum Lot Frontage:

- 100 feet on a public street with access from said public street

Sewer and Water:

- Requires connection to public water and sewer



Minimum Front Yard Setback:

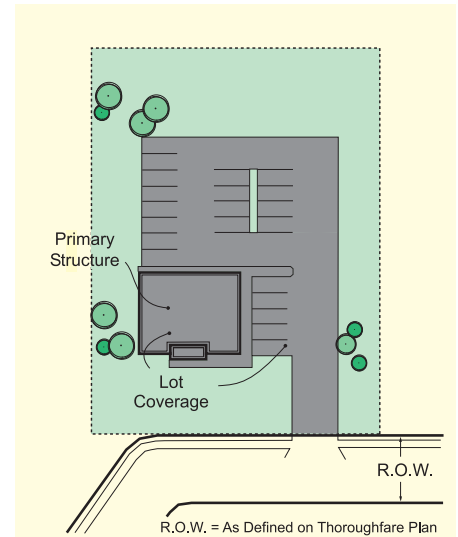
- 150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- 35 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 25 feet

Minimum Rear Yard Setback:

- 25 feet

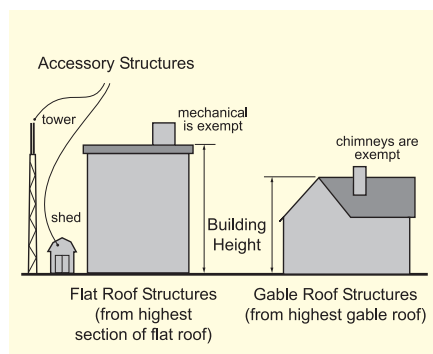


Maximum Lot Coverage:

- square feet of all primary and accessory structures, and impervious surface cannot exceed 70% of the Lot Area

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 40 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunications facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

- AS-06 Page 98

Buffer Yard (BY)

- BY-01 Page 99

Performance (PS)

- PS-01 Page 101

Environmental (EN)

- EN-01 Page 102

Flood Hazard Area (FH)

- FH-01 Page 104

Parking (PK)

- PK-01 Page 110

- PK-04 Page 110

- PK-05 Page 113

Loading (LD)

- LD-01 Page 114

Entrances/Drives (ED)

- ED-01 Page 115

- ED-03 Page 116

Sight Visibility (SV)

- SV-01 Page 118

Telecom. Facilities (TF)

- TF-01 Page 123

- TF-04 Page 126

Farm Animal (FA)

- FA-01 Page 127

Public Improvement (PI)

- PI-01 Page 130

Satellite Dish (SA)

- SA-01 Page 132

Temporary Uses (TU)

- TU-01 Page 134

- TU-04 Page 136

Fences and Walls (FW)

- FW-01 Page 137

- FW-03 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Permanent Signs (PS)

- PS-01 Page 151

- PS-07 Page 155

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GI - General Industrial District

3.29 "GI" District Intent, Permitted Uses, and Special Uses

District Intent	Permitted Uses	Special Uses
<p>The "GI" District is intended to provide a land use category for a variety of industrial operations. The provisions that regulate this land use district should make the district compatible with the "GC", "HC", "LI" and "AG" districts and environmentally sensitive areas. This district should be used in combination with the "LI" district in areas with convenient access to major transportation routes.</p> <p>Madison County's Plan Commission and Board of Zoning Appeals should strive to provide for industrial operations while minimizing light pollution, large parking lots along major roadways, hazardous traffic patterns, and traffic conflicts in the "GI" district.</p>	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • agricultural crop production • agriculture crop processing (of materials produced on-site) • agriculture crop storage (of materials produced on-site) • farm implement storage (operable implements used in the farming operation - not for sale) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • nature preserve • passive recreation trail <p>Communication/Utilities</p> <ul style="list-style-type: none"> • utility substation • sewage treatment plant • wireless telecommunications facility/tower • water tower <p>Industrial Uses</p> <ul style="list-style-type: none"> • mineral extraction and processing • industrial uses (high impact) • agricultural crop production and storage (materials produced off-site) 	<p>Agricultural Uses</p> <ul style="list-style-type: none"> • grazing and pasture land • livestock <p>Residential Uses</p> <ul style="list-style-type: none"> • dwelling, single-family (as an accessory to agriculture uses) • dwelling, single-family (accessory, as an additional dwelling) <p>Institutional/Public Uses</p> <ul style="list-style-type: none"> • church or other place of worship • government office/facility • school (P-12) <p>Industrial Uses</p> <ul style="list-style-type: none"> • industrial uses (low impact) • junk yard (including sanitary landfill, refuse dump, and scrap metal yard)

Use Notes & Subdivision Specifications

The Use Matrix at the end of this Article (p80 & 81) provides detailed use listings.

The flood hazard provisions of this Ordinance shall apply to all districts as specified in Article 6, Section 6.10.

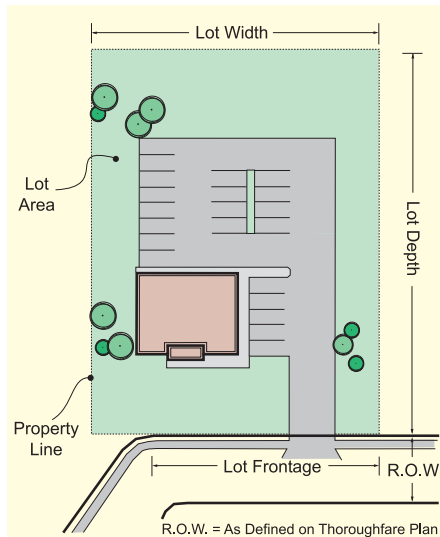
The Corridor Development Overlay District shall apply as specified in Article 4 of this Ordinance.

Any district may be rezoned to "PD" (Planned Unit Development) as specified in Article 9 of this Ordinance.

The subdivision of land in this district shall be consistent with the specifications of the Madison County Subdivision Control Ordinance.

GI - General Industrial District

3.30 "GI" District Standards



Minimum Lot Area:

- 2 acres

Minimum Lot Width:

- 250 feet

Maximum Lot Depth:

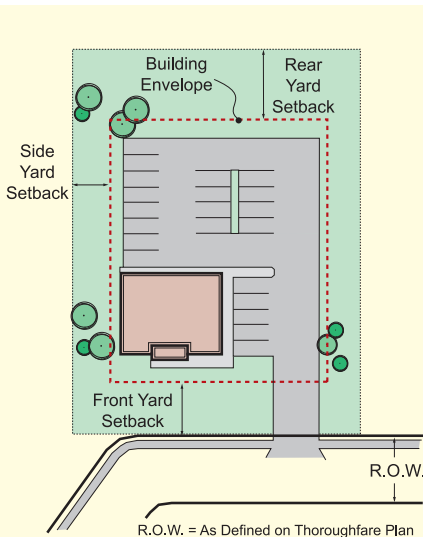
- none

Minimum Lot Frontage:

- 100 feet on a public street with access from said public street

Sewer and Water:

- Requires connection to public water and sewer



Minimum Front Yard Setback:

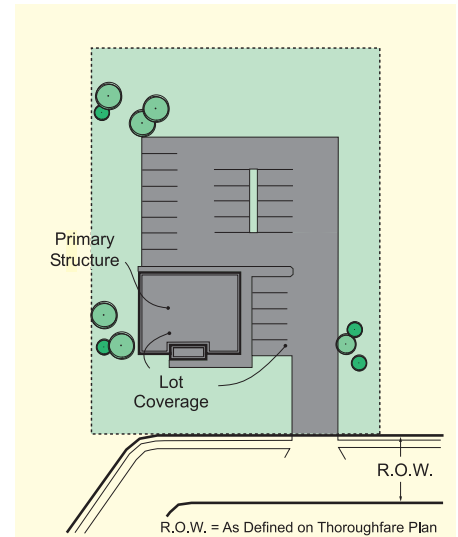
- 150 feet when adjacent to an Arterial Road
- 100 feet when adjacent to a Collector Road
- 35 feet when adjacent to a Local Road

Minimum Side Yard Setback:

- 40 feet

Minimum Rear Yard Setback:

- 40 feet

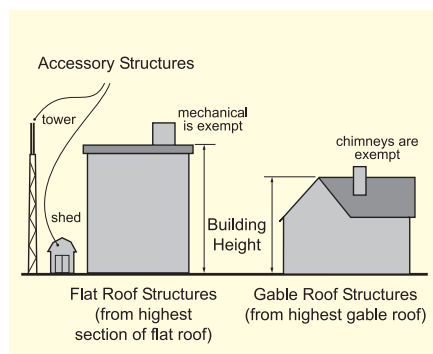


Maximum Lot Coverage:

- square feet of all primary and accessory structures, and impervious surface cannot exceed 70% of the Lot Area

Maximum Primary Structures per Lot:

- 1



Maximum Structure Height:

- 40 feet for the Primary Structure
- 25 feet for Accessory Structures
- All telecommunications facilities shall conform to the requirements of Art. 6

Additional Development Standards that Apply

Lot, Yard, & Density (LY)

- LY-01 Page 93

Height (HT)

- HT-01 Page 94

Accessory Structure (AS)

- AS-01 Page 95

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- TF-04 Page 126

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- PI-01 Page 130

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- SA-01 Page 132

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- TU-04 Page 136

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- FW-03 Page 137

Landscaping (LA)

- LA-01 Page 138

- LA-02 Page 140

Seasonal Housing (SH)

- SH-01 Page 143

Lighting Standards (LS)

- LS-01 Page 145

- LS-02 Page 145

General Signs (GS)

- GS-01 Page 147

Permanent Signs (PS)

- PS-01 Page 151

- PS-07 Page 155

Land Use Matrix

3.31 Land Use Matrix

Use	Zoning District														
	AP	AG	CR	R1	R2	R3	MR	MH	PR	IS	LC	GC	HC	LI	GI
Agricultural Uses															
confined feeding operation	S	S												S	
grazing/pasture land	P	P	P	S	S	S	S	S	S	S	S	S	S	S	S
livestock	P	P	P	S	S	S	S	S	S	S	S	S	S	S	S
animal boarding	S	S	S												
livestock auction/sale facility		S	S											S	
agricultural crop production	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
agricultural seed sales, fertilizer sales, farm co-op facility															
retail sales (of crops produced on-site)	S	P	P												
agricultural crop processing (of materials produced on-site)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
agricultural product storage (or materials produced on-site)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
commercial greenhouse		S	S										P	P	S
farmers market (for products grown off-site)		S	S								S	P	P		
agricultural products sales, distribution, and storage	P	P	P									P	P	P	
agricultural seed sales, fertilizer sales, farmco-op facility															
farm implement storage (operable implements)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
farm implement sales and service		S	S									S	P	P	
seasonal farm worker housing	S	S	S												
Residential Uses															
dwelling, single-family, new	S	P	P	P	P	P					S	S	S		
dwelling, single-family, existing	S	P	P	P	P	P						P	P		
dwelling, single-family (accessory, as an additional dwelling)	S														
dwelling, mobile home								P							
dwelling, manufactured home (type I)	S	P	P	P	P	P		S							
dwelling, manufactured home (type II)	S	P	P	P	P	P		S							
dwelling, manufactured home (type III)								P							
dwelling, single-family (upper floors)											P	S			
dwelling, two-family					P	P									
dwelling, two-family (upper floors)											P	S			
dwelling, multi-family							P								
dwelling, multi-family (upper floors)											P	S			
residential facility for the developmentally/mentally disabled		P	P	P	P	P	P			P					
assisted living/retirement facility			S	S	S	S	P			P	S				
nursing home				S	S	S	P			P	S				
child day-care home		P	P	P	P	P	P	P			P				
home occupation (type I)		P	P	P	P	P	P	P			P				
home occupation (type II)	S	S	S	S	S	S									
bed and breakfast facility	S	S	S	S	S						S				
boarding house		S	S												
private air strip	S	S	S											S	S
Institutional/Public Uses															
Parks and Recreation Uses															
nature center, park, public athletic courts and fields, playground			S	S	S	S	S	S	P	P	S				
nature preserve	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
passive recreation trail	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Institutional Uses (small scale)															
institutional facility for developmentally disabled, institutional facility for mentally ill, child day-care center, adult day-care center				S	S	S	S	S		P	S			S	
police, fire or rescue station	S	S	S	S	S	S	S	S	S	P	P	P	P	P	
Institutional Uses (medium scale)															
funeral home/mortuary, cemetery, public parking lot, crematory										P	S	P		S	
armory, library, museum, post office, recreation center, community center, service/fraternal/labor organization office and meeting hall															
Institutional Uses (large scale)															
trade or business school, university or college, hospital										P		S		S	
helipad/heliport, airport, fairground/race track															
church or other place of worship	S	P	P	S	S	S	S	S	S	P	P	S	S	S	S
government office/facility	S	S	S	S	S	S	S	S	P	P	P	S	S	S	S
school (P-12)	S	P	P	S	S	S	S	S	S	S	P	P	S	S	S
Communication/Utilities															
utility substation	P	P	P	S	S	S	S	S	S	P	S	P	P	P	P
public wellfield/pumphouse	P	P	P	S	S	S	S	S	S	P					
sewage treatment plant		S	S											P	P
wireless telecommunication facility/tower	S	S	S	S	S	S	S	S	S	S	S	S	P	P	P
water tower	P	P	P	S	S	S	S	S	P	P	S	P	P	P	P

P-Permitted Use S-Special Use

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Land Use Matrix

(continued)

Use	Zoning District														
	AP	AG	CR	R1	R2	R3	MR	MH	PR	IS	LC	GC	HC	LI	GI
Business Uses															
adult uses												P			
adult-oriented business (including clubs, theaters, bookstores)															
corporate office uses													P	P	
auto-oriented uses (small scale)											S	P	P		
gas station, drive thru ATM, restaurant (with drive-in service), restaurant (with drive-thru service)															
auto-oriented uses (medium scale)												P	P		
bus station, auto repair and body shop, car wash, vehicle detailing/accessory shop, oil change facility															
auto-oriented uses (large scale)												S	P		
hotel/motel, manufactured/mobile home sales and service, auto sales and service, motorcycle sales and service, boat and RV sales and service															
truck stop													P	S	
kennel	S	S	S											S	
alcohol related uses											S	S	S		
bar, tavern, night club, liquor store															
recreation uses (small scale)											S	P	S		
billiard/arcade room, video/dvd store, banquet hall, bowling alley, theater															
recreation uses (medium scale)									P		S	P	S		
driving range, miniature golf course, skating rink, swimming pool, health spa/retreat center															
recreation uses (large scale)	S	S	S						P						
golf course, commercial athletic courts and fields, riding stables, public fishing facility, camp ground, RV park															
personal service uses											P	P			
photographic studio, dance or martial arts studio, barber/beauty shop, tanning salon, dry cleaners, self service laundry, fitness center, tailor/pressing shop, shoe repair															
office uses											P	P	S	S	
veterinarian office/hospital, radio/TV station, print shop/copy center, medical/dental clinic, business/financial service office, bank/financial institution, investment firm, secretarial service, temporary service agency, employment service, general services office, design services, insurance office, law office, real estate office, title company, travel agency, medical/dental office															
retail uses (small scale)											P	P	S		
ice cream shop, restaurant (without drive-thru service), delicatessen, bakery (retail), art gallery, craft/fabric shop, flower shop, gift shop, convenience store (without gas pumps), news dealer/bookstore, music/instrument shop															
retail uses (medium scale)											S	P	S		
butcher/meat locker, pharmacy, jewelry store, antique shop, apparel/footwear shop, auto part sales (without on-site repair service), garden shop, sporting goods, pet shop, variety store, building finishes store (paint, windows, wallpaper)															
retail uses (large scale)												P	P		
grocery/supermarket, department store, furniture store, home electronics/appliance store, office supply store, building supply store															
Industrial Uses															
mineral extraction and processing	S	S	S												P
industrial uses (low impact)		S												P	S
wholesale facility, distribution facility, bakery (commercial), warehouse/packaging facility, assembly facility, boat/RV storage facility, engineering/research laboratory, food production/processing, data processing center, printing/publishing facility, contractor offices/workshop, tree trimming office/workshop, tool and dye shop, welding shop, auction house or lot, lumber yard															
industrial uses (high impact)															P
bottled gas storage/distribution, incinerator, explosives manufacturing and storage, manufacturing/fabrication facility, power generating plant															
mini-warehouse storage facilities												S	S	P	
ag.crop production/storage (materials produced off-site)		S												S	P
junk yard/scrap metal yard/sanitary landfill/refuse dump															S
solid fill	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S

P-Permitted Use S-Special Use Rev. 2004 S-4 Rev. 2006 S-8

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